

Way to a world of peaceful living



**2 & 3 BHK FLATS & SHOPS
WITH ALLOTTED PARKING**

સુર્ય, ચંદ્ર, તારાઓ, ગ્રહો, આકાશગંગા
આ બધા મળીને અંતરિક્ષ બને છે...

આ વિશાળકાય બ્રહ્માંડ જોઈ ક્યારેક આસ્થર્યચકિત થઈ જવાય છે કે
શું સમગ્ર બ્રહ્માંડની બધી જ ખુશી આપણે મેળવી શકશું....

ઘણી વાર માનવીને સ્વપ્નમાં આવે છે કે...
અંતરિક્ષમાં એક સુંદર મંજાનું ઘર હોય...

પણ ખરેખર શું અંતરિક્ષમાં ઘર બની શકે છે... કદાચ ન બની શકે....
પણ અંતરિક્ષ તો તમારા આંગણે આવી જ શકે છે...

તેથી જ અમે તમારી માટે લાવી રહ્યા છીએ.....
“અંતરિક્ષ રેસીડેન્સી” જે તમારા પરિવારને
સમગ્ર બ્રહ્માંડની ખુશીઓ અપાવશે.....



2 & 3 BHK Truly Luxurious Flats



શ્રમી પે સશ્રાયે શ્રશ્વાત

making
difference
since

29
years

fulfilled
9000
dreams

accomplished
59
projects

Jamnagar...the happening hub of Gujarat is all set to shine globally thanks to its thriving & growing development plans, dedicated to make it city at par!!

Refiling your **Life**
Living the **Prestige**

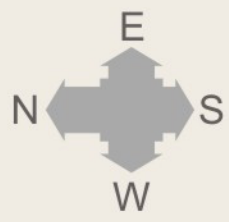
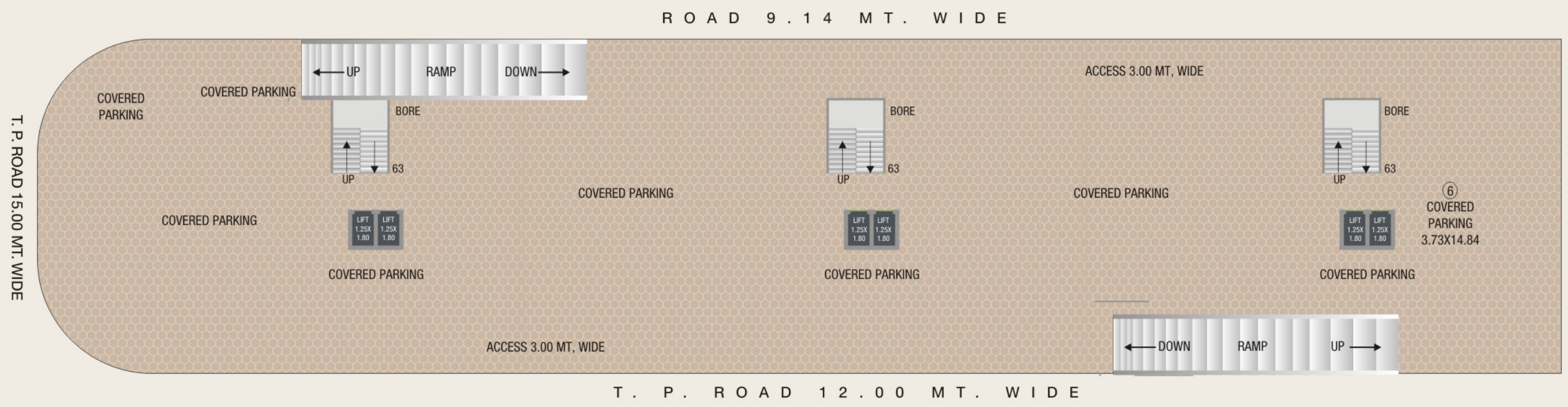
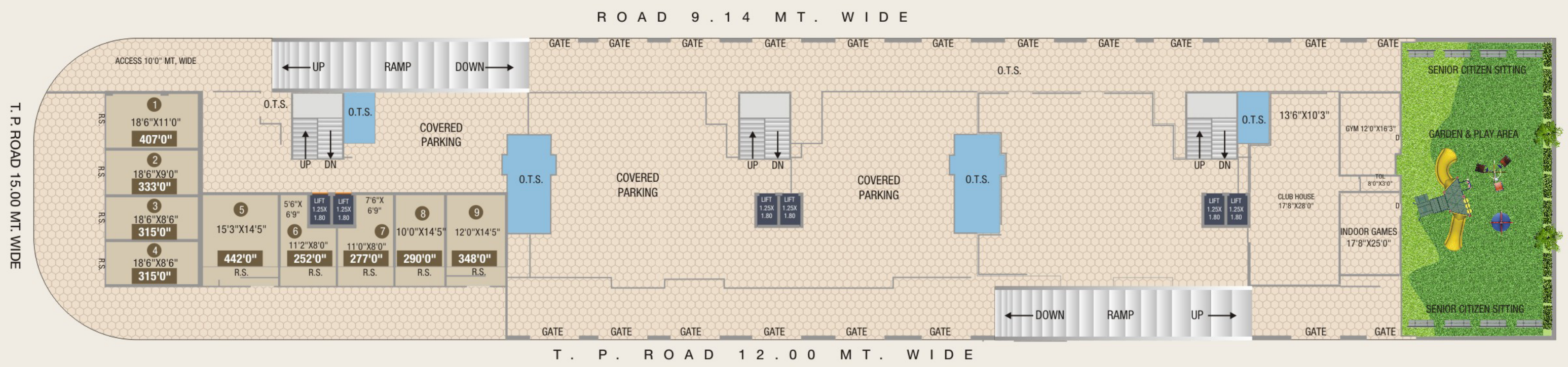
"Home-Maker" group has enjoyed two decades of proud existence & glory. Creating quality "Homes with Hearts" has always been the driving force, motivation & inspiration throughout our journey.

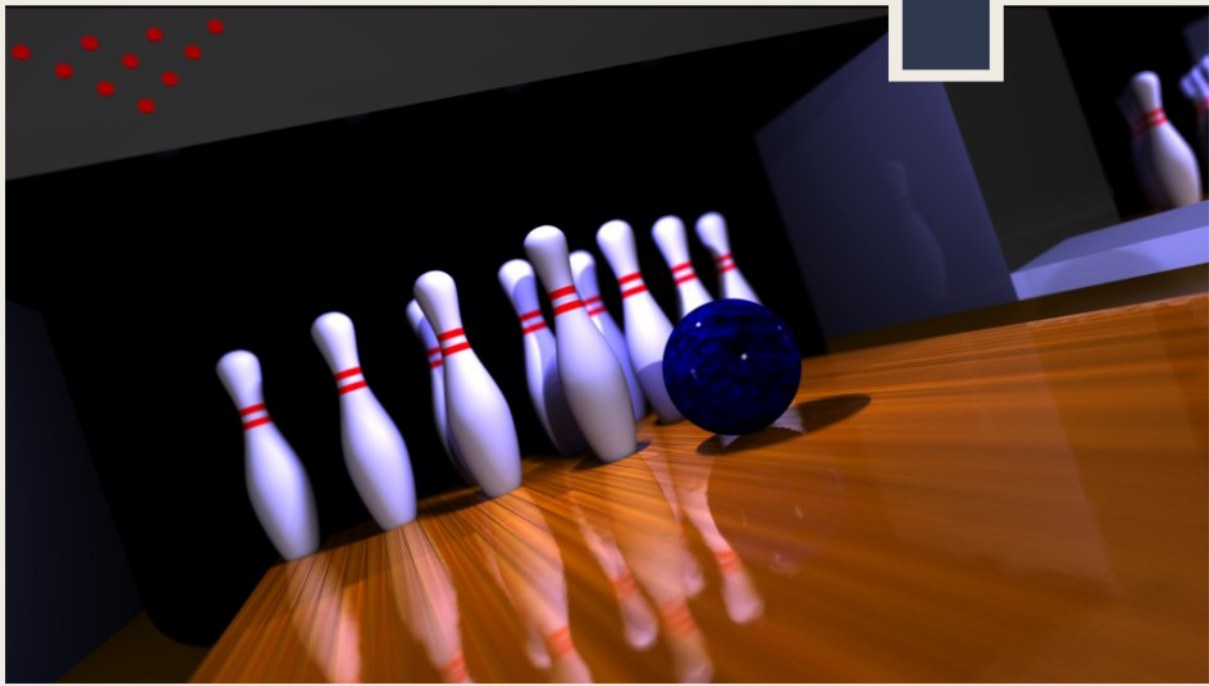
Call it a vision or farsightedness, but "Home Maker" has always sensed the potential of development, it has made "Jamnagar""Constructed heaven" with string of beautiful projects.

The group is credited to have developed some of the most prestigious & lifestyle enhancing Residential & commercial projects. Our Projects fit all economical strata & we have always laid emphasis on providing quality nature-centric development.

Choose any of "Home-Maker" product & capitalize on your investment....because with "Home-Maker" you are sure to get the best of "Jamnagar".... be it location, convenience, amenities or lifestyle.







Each and Every flat has personal **over-head water tank.**

Amenities

1. Every flat breaths in full air and light with EAST-WEST openings.
2. Marketable clear title and J.M.C approved building plan.
3. Spacious & attractive entrance foyer.
4. Modern health club
5. Indoor game zone.
6. Common multipurpose A/c hall in ground floor.
7. Children play area.
8. Landscaping and plantation in garden.
9. Senior citizen sitting area.
10. Attractive main entrance gate and security reception.
11. Each and Every flat has personal over-head water tank.
12. Standard company's 6 (Six) lifts.
13. Fire safety system.
14. Flat to flat and flat to security intercom system.
15. Power back-up for common area including elevator and parking.
16. Beautiful and attractive elevation.
17. Ample parking space at ground floor and also at basement.
18. Allotted car parking for every flat at no extra cost
19. Common toilet at ground floor
20. Attractive name plat of flat owner's at ground floor

Facilities

1. Earthquake resistance R.C.C. Frame Structure as per structural design with good quality material
2. Brick masonry with good quality bricks
3. Internal smooth plaster & sand face plaster on exterior surface
4. Attractive main door and all other flush doors
5. Three tracks powder coated aluminum section window with M.S.Grill
6. Vitrified tiles flooring in all rooms of the apartment
7. Finolex R/R Or equivalent company Cable concealed copper wiring with suitable MCB & ELCB in each apartment and elegant modular Switches
8. Provisions for TV/Telephone / AC's. and other electronics appliances points
9. Marble Door Frames in bedrooms & toilets, balconies
10. Good Quality granite platform with S.S. sink of Nirali or equivalent company and tiles up to slab level in kitchen
11. Toilet : Attractive tiles up to slab level
12. Attractive glaze tiles in wash area
13. Concealed CPVC (Astral/Finolex) Plumbing With C.P. (Plumber/Jaquar) Fittings and Sanitary Wares (cera or simpolo)
14. Emulsion paint on interior Walls & 100% Acrylic emulsion paint on exterior walls
15. Water proofing in balconies, roof salb & toilet sunk slab



Luxurious AMENITIES like club house, gym, indoor game zone, garden, senior citizen sitting that enhance the **QUALITY OF YOUR LIFE.**



Note. :
 (1) Payment of all extra work to be executed shall be made in advance.
 (2) Stamp Duty towards registration shall be borne by the client.
 (3) Municipal corporations & GEB charges, if any ,shall be borne by client.
 (4) Any central or state govt. taxes, if applicable shall have to borne by the clients.
 (5) All members shall have to essentially be the part of the society formed by the Association of members & shall abide by the society by-laws.

The information contained in this brochure is indicative of the kind of development that is proposed. It is prepared & issued in good faith and is for guidance only. It dose not constitute part of an offer or contract. Subject to the approval of the authorities of in the interest of the continuing improvement, the promoters reserve the rights to change plans, No. of storeys, specifications of features without prior notice of obligation. Guidelines are enforced for not allowing grills, flower pots etc. to be fixed outside windows or any changes to be made in external elevation. All the images are just for idealization.



Garden Fountain

Senior Citizen Seating Area
Plantation
Parking





The wait for your dream apartment is over

Presenting "Antriksh Residency", situated at Mehulnagar, consists 2 & 3 BHK apartment

All these apartments are road facing, with all modern amenities

It will be a luxury at an affordable price like all over value added earlier schemes

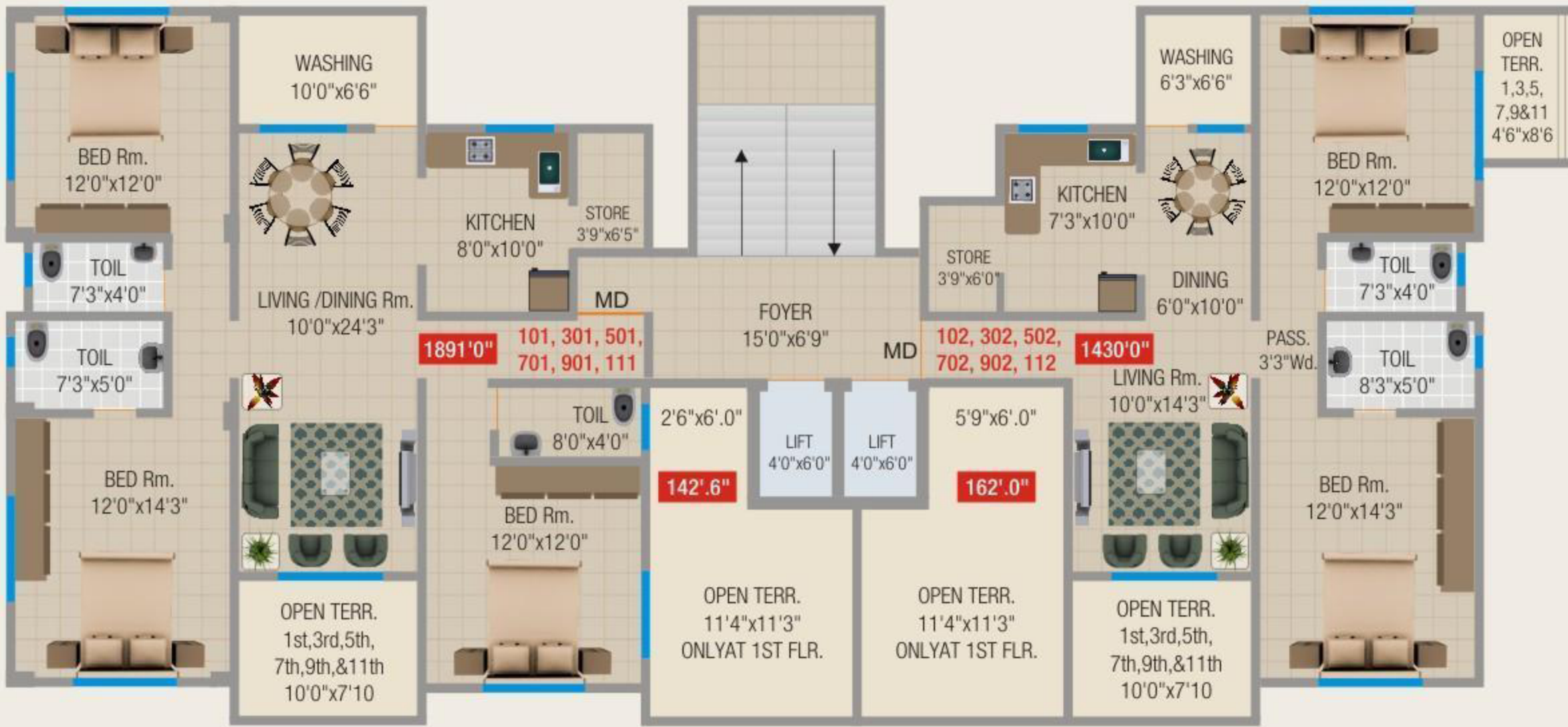
Prime Properties with All Round Connectivity



ROAD 9.14 MT. WIDE



T. P. ROAD 15.00 MT. WIDE



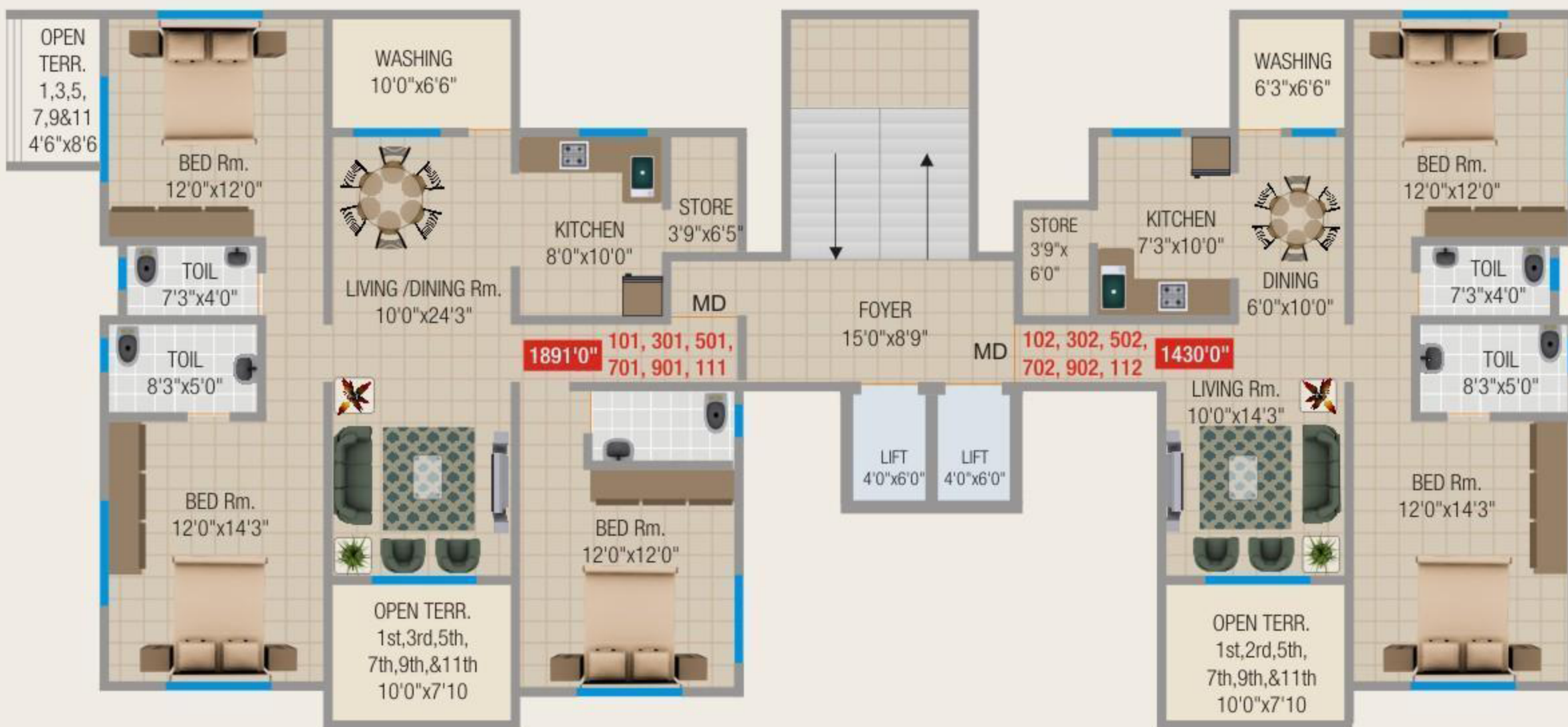
T. P. ROAD 12.00 MT. WIDE



a WING



b WING



c WING



1st, 3rd, 5th, 7th, 9th & 11th FLOOR PLAN

ROAD 9.14 MT. WIDE



T. P. ROAD 15.00 MT. WIDE

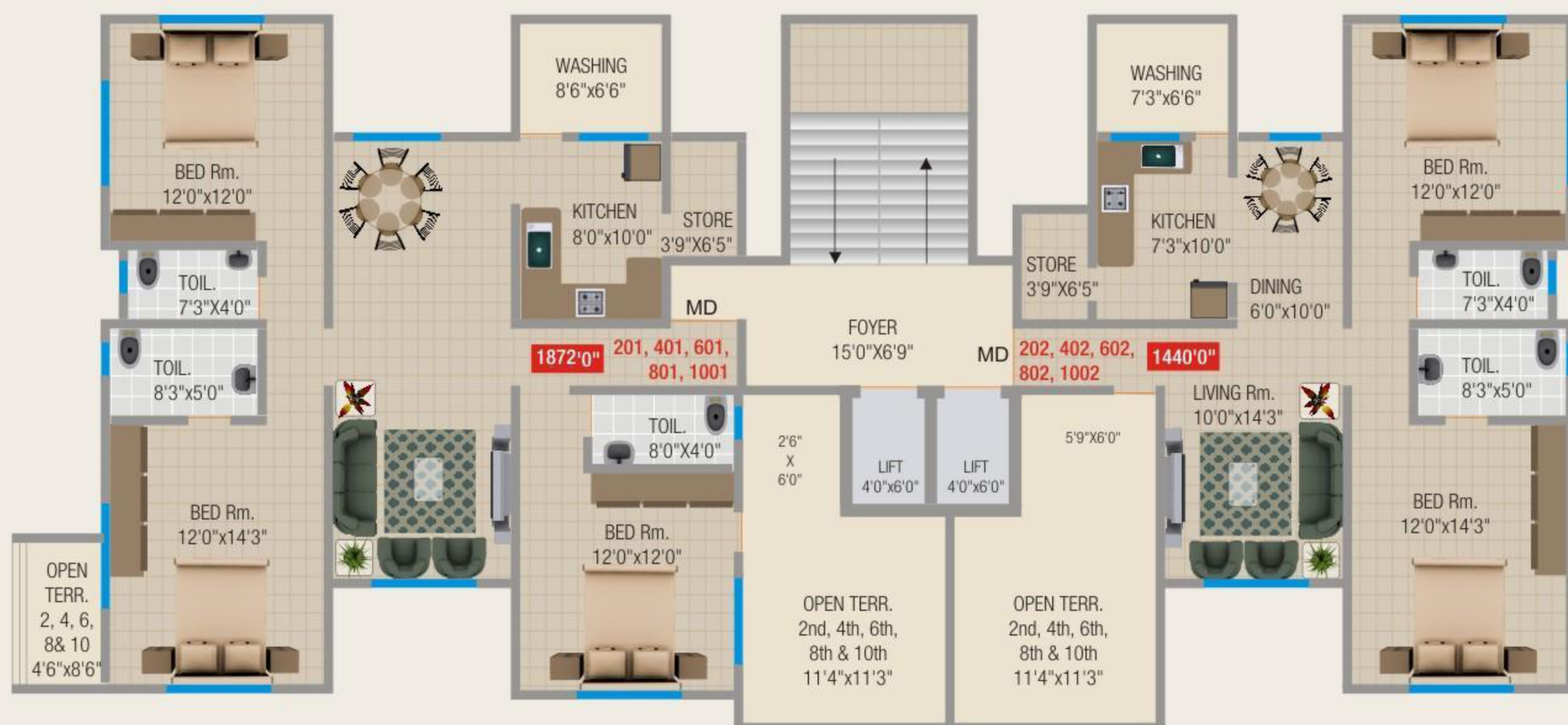


a WING

T. P. ROAD 12.00 MT. WIDE



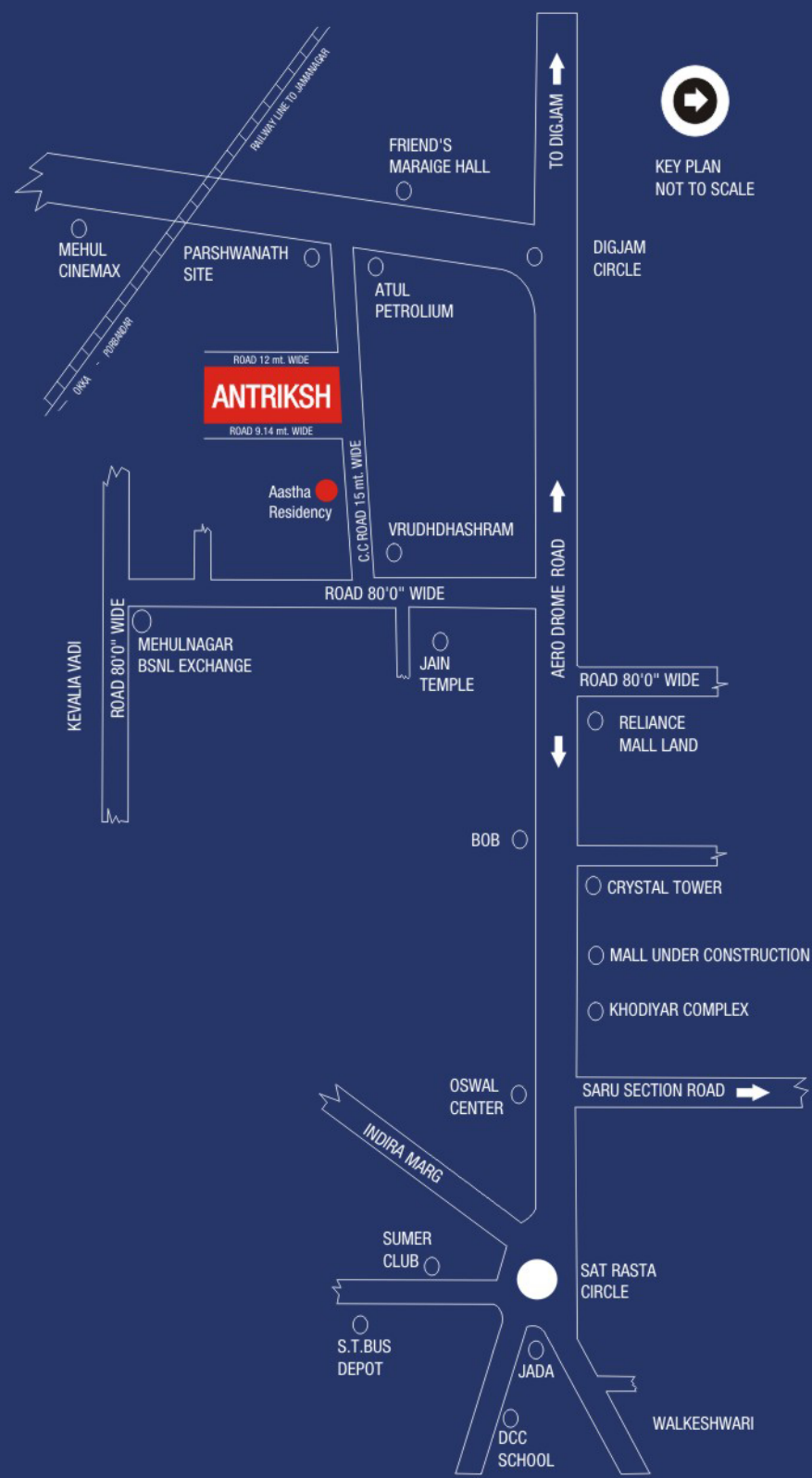
b WING



c WING



2nd, 4th, 6th, 8th & 10th FLOOR PLAN



SITE ADDRESS

Plot No. 1 to 5, Dev Park, Near Atul Petrol Pump,
Mehulnagar, Jamnagar

A PROJECT DEVELOPED BY



"HOME MAKER" CHOKSI MENSION,
2nd FLOOR, NEAR DR. RATHI'S HOSPITAL,
SUMMAIR CLUB ROAD, JAMNAGAR-1
PHONE : 0288-2540091

BUILDER & DEVELOPERS

NISHITH SHAH
97148 15158

DIVYESH SHAH
98242 14452

DHIMANT SHAH
98242 14451

e-mail : nishith_libra@yahoo.com

"UTTAM ART"
K.D. Complex, Indira road, jamnagar.

STRUCTURAL ENGINEER
"NIRMAN ASSOCIATES"
Modern Market, Jamnager.